

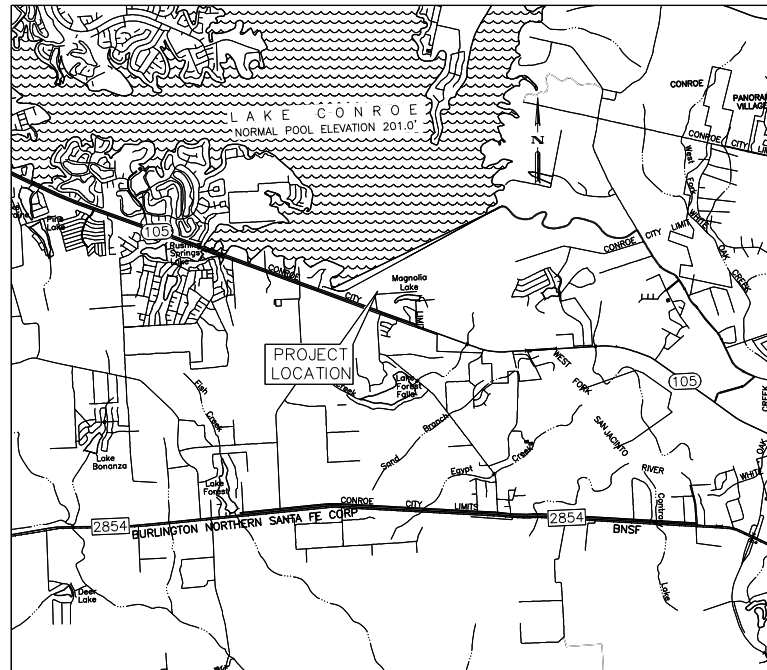
SAN JACINTO RIVER AUTHORITY

LAKE CONROE DIVISION

OPERATOR RESIDENCE

DEMOLITION

CONTRACT NO. 19-0052
PROJECT NO. LCPR0036.1005.2C001



VICINITY MAP
N.T.S.



INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1	COVER SHEET AND SHEET INDEX
2	GENERAL SITE ACCESS PLAN
3	RESIDENTIAL ELEVATION
4	TREE PROTECTION DETAILS

DIRECTORS

LLOYD B. TISDALE	PRESIDENT
RONNIE ANDERSON	VICE PRESIDENT
MARK MICHELETTI	TREASURER
KAAREN CAMBIO	SECRETARY
ED BOULWARE	ASSISTANT SECRETARY
JIM ALEXANDER	MEMBER
BRENDA COOPER	MEMBER

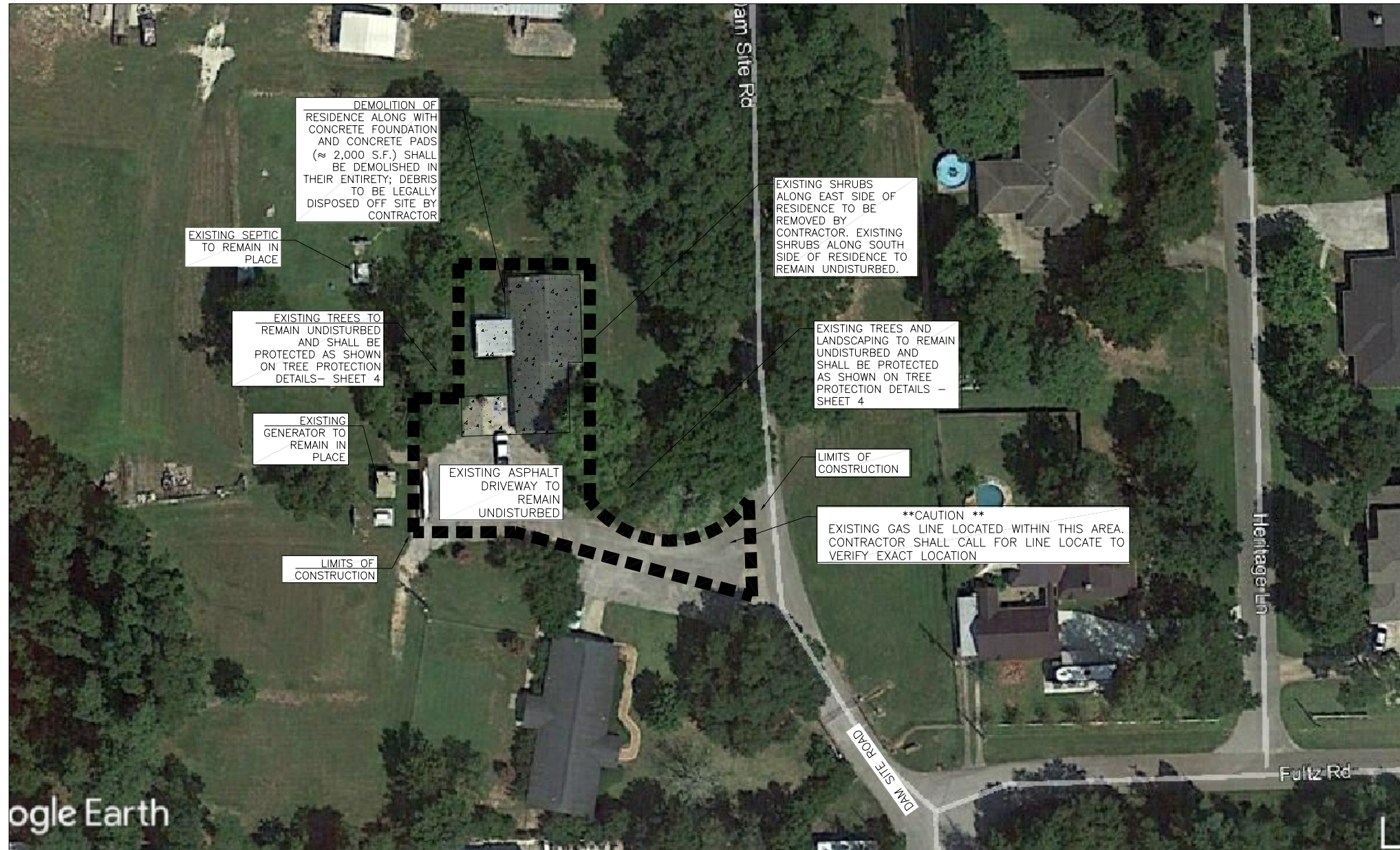
GENERAL MANAGER: JACE A. HOUSTON

ISSUE DATE: SEPTEMBER 2019

ONE-CALL NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
(713) 223-4567
(New Statewide Number Outside Houston)
1-800-545-6005



COVER SHEET AND
SHEET INDEX



PROJECT SCOPE:

- THE WORK OF THIS CONTRACT INCLUDES THE FOLLOWING:
1. DEMOLITION OF EXISTING RESIDENCE DEPICTED ON THIS SHEET WITH THE IMPLEMENTATION OF DUST CONTROL MEASURES. DEBRIS FROM DEMOLITION SHALL BE LEGALLY DISPOSED OFFSITE BY CONTRACTOR TO AN APPROPRIATE LOCATION.
 2. DEMOLITION OF EXISTING RESIDENCE FOUNDATION UNTIL FOUR (4) INCHES OF NATIVE MATERIAL FREE OF DEBRIS IS FOUND. DEBRIS FROM DEMOLITION SHALL BE LEGALLY DISPOSED OFFSITE BY CONTRACTOR TO AN APPROPRIATE LOCATION.
 3. EXISTING GENERATOR AND SEPTIC TO REMAIN IN PLACE; UTILITY STUBS AT RESIDENCE TO BE CAPPED AND ABANDONED IN PLACE.
 4. SCARIFY 4 INCHES OF NATIVE MATERIAL, PLACE & COMPACT SELECT FILL MATERIAL PER SPECIFICATION 31 20 00 - EARTHWORK UP TO THE ESTABLISHED ADJACENT EXISTING GROUND ELEVATION; PLACEMENT OF SELECT FILL MATERIAL SHALL NOT EXCEED 6 INCH LIFT HEIGHTS/ LAYERS. COMPACTION OF FILL SHALL BE APPROVED BY OWNER REPRESENTATIVE. SEE SPECIFICATION 31 23 00 - EARTHWORK FOR DETAILS.
 5. REESTABLISH VEGETATION BY PLACING 4 INCHES TOP SOIL AND HYDRO-MULCHING OF ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES. REFER TO SPECIFICATION SECTION 32 92 13 - HYDRO-MULCHING.

ALTERNATE ITEM:
PRIOR TO DEMOLITION OF RESIDENCE THE ITEMS BELOW SHALL BE REMOVED BY THE CONTRACTOR AND TRANSPORTED TO A LOCATION ON SITE AS DIRECTED BY THE OWNER.

- A. WINDOWS (14)
- B. AIR CONDITIONING UNIT TO INCLUDE BOTH INTERIOR AND EXTERIOR
- C. WATER HEATER
- D. EXTERIOR DOORS (3)
- E. GARAGE DOOR

GENERAL NOTES:

THE FOLLOWING NOTES ARE GENERAL AND APPLY TO ALL SHEETS OF THESE CONTRACT DOCUMENTS AS IF THEY WERE WRITTEN IN THEIR ENTIRETY ON EACH SHEET.

1. CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS OF SITE PRIOR TO COMMENCING ANY WORK AS WELL AS VERIFY SPACE AND POWER AVAILABLE FOR STAGING AND OR PERFORMING DEMOLITION OF RESIDENCE.
2. CONTRACTOR SHALL CALL FOR UTILITY LOCATES AND VERIFY EXISTING UTILITY LOCATIONS.
3. ACCESS TO SITE SHALL BE FROM EXISTING DRIVEWAY. CONTRACTOR SHALL COORDINATE ACCESS TO RESIDENCE, AS WELL AS DEMOLITION WORK AND DUMPSTER LOCATION WITH OWNER'S REPRESENTATIVE.
4. CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AT ALL TIMES DURING DEMOLITION. ACCESS TO WATER AT LAKE CONROE SHALL BE PROVIDED BY OWNER. EQUIPMENT FOR EXTRACTION AND USE OF WATER TO BE PROVIDED BY CONTRACTOR
5. OTHER CONSTRUCTION AND OPERATION RELATED ACTIVITIES MAY BE CONDUCTED AT THE DAM SITE DURING THE SAME PERIOD THAT THIS PROJECT IS ONGOING. CONTRACTOR SHALL COOPERATE WITH SJRA OPERATIONS AND MAINTENANCE STAFF AND CONTRACTOR(S) PERFORMING SAID WORK, AND SHALL COORDINATE HIS/HER ACTIVITIES WITH OWNER'S REPRESENTATIVE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS (AS DIRECTED IN THE CONTRACT) PRIOR TO START OF CONSTRUCTION WORK. CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL APPLICABLE CITY, COUNTY, STATE, AND FEDERAL PERMITS, REGULATIONS AND APPROVALS.
7. UNLESS OTHERWISE NOTED CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING: ROADWAYS, STRUCTURES, UTILITIES, INSTRUMENTATION, TREES, SHRUBS, FENCES, AND OTHER ADJOINING FACILITIES AND SHALL REPAIR OR REPLACE TO ORIGINAL OR BETTER CONDITION, AT NO COST TO OWNER, IF ANY DAMAGE IS CAUSED BY CONTRACTOR. REPAIR OR REPLACEMENT SHALL BE AS DEEMED ACCEPTABLE BY OWNER.
8. SITE SECURITY AND PROTECTION OF WORK IN PROGRESS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY CLEAN-UP OF THE SITE AND FOR ANY IMPACTS TO THE SURROUNDING AREAS (INCLUDING ROADWAYS), DUE TO CONSTRUCTION ACTIVITIES.
10. CONTRACTOR SHALL KEEP ALL ROADS OPEN, MAINTAIN ACCESS TO NEIGHBORING RESIDENCES AT ALL TIMES, AND LOCK ALL NECESSARY GATES AFTER WORKING HOURS.



**SAN JACINTO RIVER AUTHORITY
LAKE CONROE DIVISION**

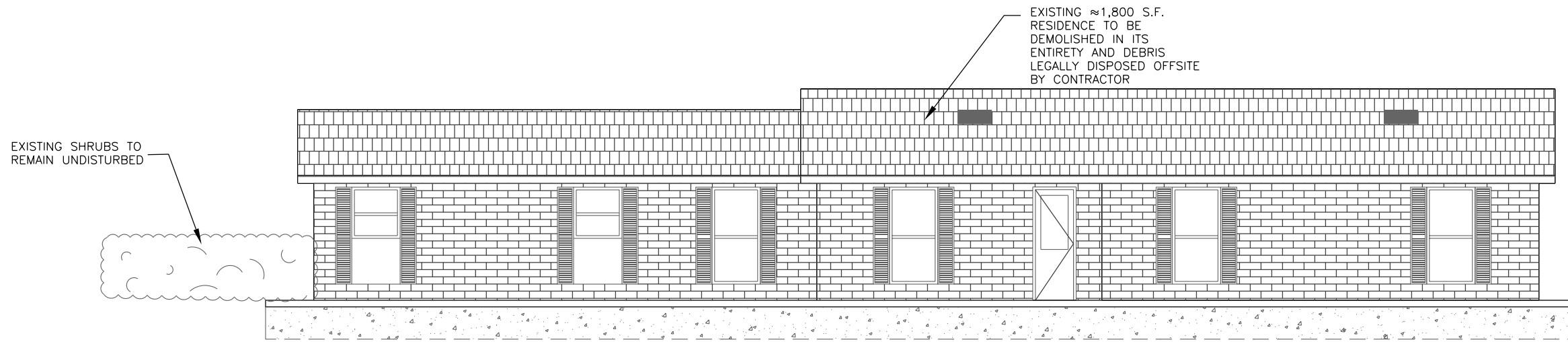


**LAKE CONROE
OPERATOR'S RESIDENCE
DEMOLITION**

ISSUE	DATE	DESCRIPTION
0	9/25/19	ISSUE FOR BID
SJRA PROJECT NO: LCPRO036.1005.2C001		
FILE NAME: LC Op Residence.dwg		
DRAWN BY: STEPHANIE Z.		
CHECKED BY: SHANE P.		
SCALE: NTS		

**GENERAL SITE
ACCESS PLAN**

NOTE: ARCHITECTURAL ELEVATIONS PROVIDED FROM RECORD DRAWINGS FOR INFORMATION PURPOSES ONLY.



EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"

3



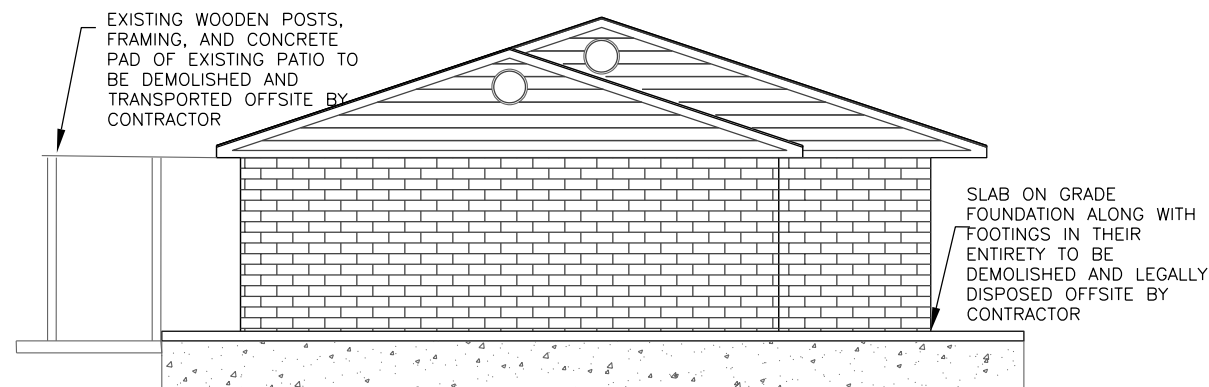
EXISTING ≈ 1,800 S.F. RESIDENCE TO BE DEMOLISHED IN ITS ENTIRETY AND LEGALLY DISPOSED OFFSITE BY CONTRACTOR

***TO BE BID AS ALTERNATE ITEM: EXISTING WINDOWS, EXTERIOR DOORS, AND GARAGE DOOR TO BE REMOVED AND TRANSPORTED TO A LOCATION ON SITE AS DIRECTED BY OWNER.

EXISTING BACK ELEVATION

SCALE: 1/4" = 1'-0"

2



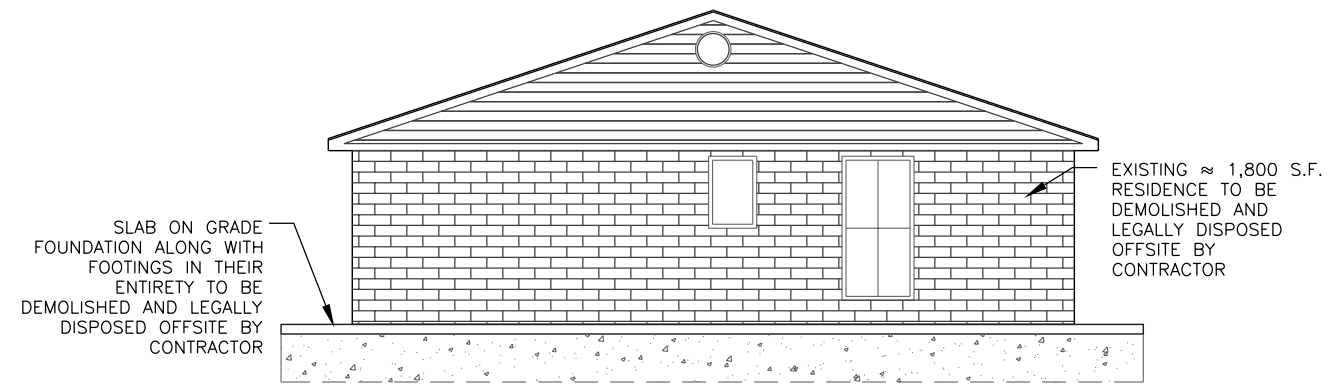
EXISTING WOODEN POSTS, FRAMING, AND CONCRETE PAD OF EXISTING PATIO TO BE DEMOLISHED AND TRANSPORTED OFFSITE BY CONTRACTOR

SLAB ON GRADE FOUNDATION ALONG WITH FOOTINGS IN THEIR ENTIRETY TO BE DEMOLISHED AND LEGALLY DISPOSED OFFSITE BY CONTRACTOR

EXISTING LEFT ELEVATION

SCALE: 1/4" = 1'-0"

4



EXISTING ≈ 1,800 S.F. RESIDENCE TO BE DEMOLISHED AND LEGALLY DISPOSED OFFSITE BY CONTRACTOR

SLAB ON GRADE FOUNDATION ALONG WITH FOOTINGS IN THEIR ENTIRETY TO BE DEMOLISHED AND LEGALLY DISPOSED OFFSITE BY CONTRACTOR

EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

1



SAN JACINTO RIVER AUTHORITY
LAKE CONROE DIVISION

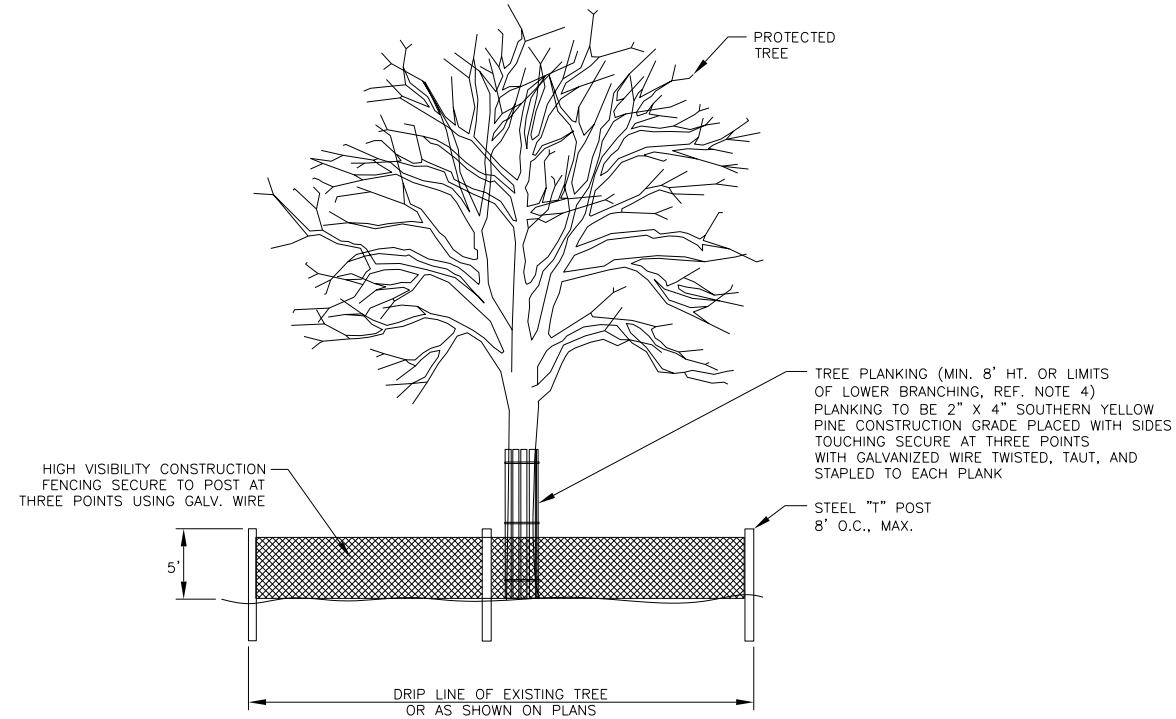


LAKE CONROE
OPERATOR'S RESIDENCE
DEMOLITION

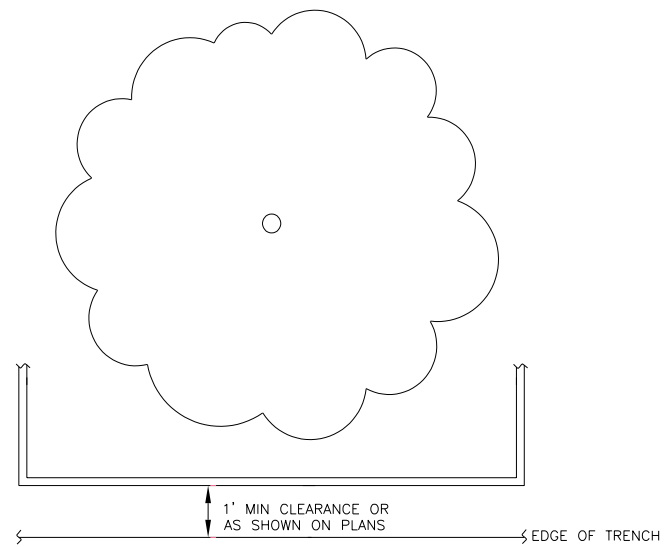
ISSUE	DATE	DESCRIPTION
0	9/25/19	ISSUE FOR BID
SJRA PROJECT NO: LCPR0036.1005.2C001		
FILE NAME: LC Op Residence.dwg		
DRAWN BY: STEPHANIE Z.		
CHECKED BY: SHANE P.		
SCALE:		AS NOTED

RESIDENTIAL ELEVATION

SHEET 3 OF 4



1 TREE PROTECTION DETAIL



2 TREE PROTECTION DETAIL

NOTES:

1. ALL TREES NOTED ON GENERAL SITE ACCESS PLAN SHALL BE PROTECTED THROUGHOUT CONSTRUCTION WITH TREE PROTECTION.
2. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO MOBILIZATION.
3. FENCING SHALL BE LOCATED AS SHOWN ON DRAWINGS, OR COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES AND WILL BE LOCATED AT THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIPLINE). THE DRIPLINE DEFINES THE 'ROOT ZONE'. WITHIN THE LIMITS OF FENCING, THE CONTRACTOR SHALL PREVENT THE FOLLOWING FROM OCCURRING WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE:
 - A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
 - B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 3" CUT OR FILL) OR TRENCHING NOT REVIEWED OR AUTHORIZED.
 - C. WOUNDS TO EXPOSED ROOTS, TRUNK, OR LIMBS BY MECHANICAL EQUIPMENT.
 - D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CONCRETE TRUCK CLEANING, AND FIRES.
4. WHERE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8' (OR TO THE LIMITS OF THE LOWER BRANCHING) AS INDICATED ON TREE PROTECTION PLANS.
5. ALL GRADING WITHIN PROTECTED ROOT ZONE AREAS SHALL BE DONE BY HAND TO MINIMIZE ROOT DAMAGE AND SOIL COMPACTION. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO 2 FEET BEHIND THE GRADE CHANGE AREA. GRADE SHALL REMAIN UNCHANGED WHERE POSSIBLE.
6. ANY ROOT SEVERED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES DRYING OF THE ROOT DUE TO EVAPORATION.
7. TREES IMPACTED BY CONSTRUCTION ACTIVITIES SHALL BE WATERED THOROUGHLY ONCE A WEEK DURING PERIODS OF HOT AND/OR DRY WEATHER. TREE CROWNS SHALL BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
8. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 3" MAXIMUM SHALL BE PERMITTED WITHIN THE DRIPLINE OF TREES. NO PERMANENT SOIL OR MULCH IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
9. PRUNING SHALL BE PERFORMED BY THE CONTRACTOR TO PROVIDE CLEARANCE FOR STRUCTURES OR CONSTRUCTION ACTIVITIES. PRUNING SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS, ONLY WITH PRIOR APPROVAL FROM AUTHORITY'S ENGINEER. ALL PRUNING MUST BE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NAA PRUNING STANDARDS), AND BY AN EXPERIENCED AND QUALIFIED ARBORIST WHOSE PRIMARY BUSINESS IS TREE CARE.
10. PROVIDE CORRECTIVE PRUNING AT THE COMPLETION OF CONSTRUCTION TO REMOVE ANY BROKEN OR DAMAGED LIMBS, UNDER THE DIRECTION OF THE AUTHORITY'S ENGINEER.
11. IF REQUIRED, ROOT PRUNE BY TRENCHING A CLEAN 4" WIDE X 24" DEEP CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH IRRIGATION TRENCHER TO MINIMIZE DAMAGE TO REMAINING ROOTS. MARK AND REVIEW TRENCH LINE WITH AUTHORITY'S ENGINEER PRIOR TO TRENCHING.
12. AS SOON AS 4" WIDE X 24" DEEP TRENCH IS CUT, EXPOSED ROOTS SHALL BE HAND CUT TO CREATE CLEAN ROOT CUTS. AS SOON AS HAND CUTS ARE COMPLETE, BACKFILL TRENCH WITH A SANDY LOAM TOPSOIL PLACED IN 6" LIFTS, AND COMPACTED AS REQUIRED BY SPECIFICATIONS.
13. IN AREAS WHERE LIME STABILIZATION ABUTS OR ENCROACHES UPON ROOT ZONES, AND WHERE ROOT PRUNING IS CALLED FOR, INSTALL 10-MIL. PLASTIC SHEETING TO FULL DEPTH OF ROOT PRUNING TRENCH AND 6" OVER TOP. CUT AND REMOVE EXPOSED PLASTIC AT COMPLETION OF WORK.



SAN JACINTO RIVER AUTHORITY
LAKE CONROE DIVISION



LAKE CONROE
OPERATOR'S RESIDENCE
DEMOLITION

ISSUE	DATE	DESCRIPTION
0	9/25/19	ISSUE FOR BID
SJRA PROJECT NO: LCPR0036.1005.2C001		
FILE NAME: LC Op Residence.dwg		
DRAWN BY: STEPHANIE Z.		
CHECKED BY: SHANE P.		
SCALE: NTS		

TREE PROTECTION DETAILS