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**ADDENDUM NO. 1
CSP # 19-0041**



A handwritten signature in blue ink, appearing to read "E. Levi Love, Jr.", written over the professional engineer seal.

3-13-2019

Date: March 12, 2019

To: All Interested Parties

From: Grady Garrow, CPPB
Senior Buyer

Re: **CSP No. 19-0041 Lake Conroe Division Office Facilities Repair**

The following additions, deletions, changes or clarifications to CSP No. 19-0041 are hereby made a part of the originally issued documents for the above referenced project as fully and as completely as though the same were included therein.

CSP #19-0041

Clarification:

The following items are in reference to all necessary Contract Documents and Lake Conroe Division Office Facilities Repair drawings (02/2019):

1. Chisel out excess mortar where sheathing was previously removed for mold remediation. See revised Sheet A-2.0 and A-1.0 of Construction Drawings and updated Section A, Item 4 of the Proposal Form.
2. Demo existing kitchen counter tops and replace with new kitchen counter mid-grade granite countertops; See revised Sheets A-1.0 and A-2.0 of Construction Drawings, and updated Section C, Item 2 of the Proposal Form.
3. Necessary brick removal and replacement for the reinstallation of windows shall be incidental to the reinstallation and will not be paid for at an additional cost. See Sheet A-3.0 of Construction Drawings, updated Section A, Item 1 of the Proposal Form.
4. Addition of Alternate 3: Provide Lump Sum cost for all materials and labor for the installation of spray foam insulation (R30) in lieu of batt insulation in the attic. See Sheet A-1.0 of Construction Drawings and the addition of Item 3 in Section D of the Proposal Form.

5. Replace all exposed rotten framing as necessary. See Sheet A-2.0 of Construction Drawings, and updated Section A, Item 4 of the Proposal Form.
6. Updated Section A, Item 7 of the Proposal Form to reflect the installation of floor drain for proposed water heater as depicted on Sheet P-1 of construction drawings
7. Remove existing wallpaper and paint existing conference room bathroom. See Sheet A-2.0 of Construction Drawings and updated Section A, Item 4 of the Proposal Form.
8. Remove and replace all face plates before painting interior of facility. See Sheet A-1.0 of Construction Drawings and updated Section A, Item 4 of the Proposal Form.
9. Install light switch for attic near the attic stairs on the first floor of facility. See Sheet E-1 of Construction Drawings and updated Section A, Item 3 of the Proposal Form.
10. Replace all existing gutters and downspouts as well as replace fascia as directed by owner. See Sheet A-3.0 of Construction Drawings and updated Section A, Item 5 of the Proposal Form.
11. Fire extinguisher locations noted on Sheet A-2.0 to address comments from the City of Conroe.
12. 2009 IBC and IFC noted on Sheet G-1 to address comment from the City of Conroe.

Contractor Questions:

1. **Question:** “besides Berridge and MBCI, are there any other approved roof manufacturers?”

Answer: Specifications state: Other manufacturers capable of providing structural standing seam system & profiles similar to that specified will be considered.

Additional Comments:

The deadline for contractor submitted questions will be extended from March 14 @ 11:00 am to March 18th @ 11:00 am.

All provisions which are not so amended or supplemented remain in full force and effect.

Please acknowledge receipt of this addendum with signature and date and return with completed Proposal/Quotation. Failure to do so may cause your Proposal to be considered non-responsive.

Receipt of this Addendum No. 1 is hereby acknowledged

Authorized Signature

Date

Company Name

SECTION 00 41 00.02

PROPOSAL FORM

To: The San Jacinto River Authority
1577 Dam Site Road
G & A Building, 3rd Floor Receptionist
Conroe, Texas 77304

Project: Lake Conroe Office Facilities Repair
CSP No.: 19-0041
Project No.: SJRA Project No. GAPR0004.1003.2C001
Offeror: _____
(Print or type full name of proprietorship, partnership, corporation, or joint venture)

1.0 OFFER

- A. Total Proposal Price:** The undersigned Offeror proposes and agrees, if this Proposal is accepted, to enter into an Agreement with Owner in the form included in the Contract Documents to perform all Work as specified or indicated in Contract Documents for the Contract Amount indicated in this Proposal or as modified by a Change Order or Change Directive.
- B. Proposal Security:** Included with the Proposal is a Proposal Security in the amount of 5 percent of the Total Proposal Price subject to terms described in Specification Section 00 21 13.02 – Instructions to Offerors.
- C. Period for Proposal Acceptance:** Offeror accepts all of the terms and conditions of the Request for Proposals and Instructions to Offerors, including without limitation those dealing with the disposition of required Bonds. This offer shall remain open to acceptance and is irrevocable for 90 days after Proposal Date (opening). That period may be extended by mutual written agreement of the SJRA and Offeror.
- D. Liquidated Damages:** Offeror accepts the provisions of the Agreement as to liquidated damages in the event of its failure to complete Work in accordance with the schedule set forth in the Agreement.
- E. Addenda:** Offeror hereby acknowledges it has received, examined and carefully studied all Addenda and all Addenda have been considered and all related costs are included in the Total Proposal Price. Offeror hereby acknowledges receipt of the following Addenda:

Addendum No.	Addendum Date	Signature Acknowledging Receipt
1	March 13, 2019	

F. Proposal Supplements: The following documents shall be provided with the proposal:

- Offeror's Statement of Qualifications (SOQ).
- Completed Certification of Proposal
- Completed Felony Conviction Notice Form
- Form of Business 00 45 20
- Proposal Security (Offeror's Bond 00 43 13)
- Resolution of Contractor 00 45 43
- Completed Verification Company Does Not Boycott Israel (00 52 00)
- Completed TGC 2252.152 Certification Form (00 52 00)
- Completed Vendor Information Form (00 52 00)
- W-9 Request for Tax Payer Information (00 52 00)
- One (1) flash drive with a Completed Proposal with Original signatures, Statement of Qualifications (SOQ) and a full set of Financials.
- Conflict of Interest Forms (Form CIQ)

2.0 CONTRACT TIME

- A. If Proposal is accepted, Contractor shall achieve Substantial Completion of the Work within 120 calendar days after the date when the Contract Time Requirements commence to run as provided in Article 2.3 of the General Conditions, and Contractor shall achieve Final Completion within 150 calendar days after the date required for Substantial Completion of the Work, subject to adjustments of Contract Time Requirements as provided in the Contract.

3.0 OFFEROR REPRESENTATIONS

- A. Offeror is familiar with and is satisfied as to all federal, state and local laws and regulations that may affect cost, progress, performance and furnishing of the Work.
- B. Offeror has visited the Site and become familiar with and is satisfied as to the general, local and Site conditions that may affect cost, progress, performance and furnishing of the Work.
- C. Offeror has carefully studied all: (1) drawings of physical conditions in or relating to existing structures at or contiguous to the Site and (2) Hazardous Conditions identified in reports and drawings provided to Offeror or available for Offeror review. Offeror understands that neither Owner nor Principal

Architect/Engineer is responsible for the accuracy of these documents and they are not part of the Contract Documents.

- D. Offeror has obtained and carefully studied all additional or supplementary examinations, investigations, explorations, tests, studies and data concerning conditions including surface, subsurface and Underground Improvements at or contiguous to the Site which may affect cost, progress, performance or furnishing of the Work or which relate to any aspect of the means, methods, techniques, sequences, and procedures of construction to be employed by Offeror, including applying the specific means, methods, techniques, sequences, and procedures of construction expressly required by the Contract Documents to be employed by Offeror, and safety precautions and programs incident thereto.
- E. Offeror does not consider that any further examinations, investigations, explorations, tests, studies, or data are necessary for the determination of this Proposal for performance of the Work at the Contract Amount proposed, within the Contract Time Requirements proposed and in accordance with the terms and conditions of the Contract Documents. Offeror shall make no claims against the Owner and shall bear all risk of losses, if any, resulting on account of the amount and character of the Work, or because the conditions under which the Work must be done vary or differ from conditions or information contained in the Contract Documents, or are different from what were estimated or anticipated by it.
- F. Offeror is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Contract Documents.
- G. Offeror has correlated the information known to Offeror, information and observations obtained from visits to the Site, reports and drawings identified in the Contract Documents, and all additional examinations, investigations, explorations, tests, studies, and data with the Contract Documents.
- H. Offeror has given Owner or Principal Architect/Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Offeror has discovered in the Contract Documents, and the written resolution thereof by Principal Architect/Engineer are acceptable to Offeror.
- I. The Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performing and furnishing the Work for which this Proposal is submitted.
- J. Laws to be Observed: In the performance of the Contract, the Contractor must comply with all applicable federal, state, and local laws, ordinances and regulations, including but not limited to laws concerned with labor, safety,

minimum wages, and the environment. The Contractor will make himself familiar with and shall at all times observe and comply with all federal, state, and local laws, ordinances and regulations which in any manner affect the conduct of the work, and shall Indemnify and save harmless the Owner, and its representatives against any claim arising from violation of any such law, ordinance or regulation by himself or by his subcontractor or by his employees.

K. Review by Owner:

(a) The Owner and authorized representatives, agents and employees of the Owner shall at all times have access to and be permitted to observe and review all work, materials, equipment, payrolls, personnel records, employment conditions, material invoices, books and accounting records, subcontracts, purchase orders, and all other relevant data, documents and records pertaining to this Contract.

L. Offeror will submit written evidence of its authority to do business in the state where the Project is located with its Proposal, form 00 45 20 – Form of Business.

M. Offeror further represents that this Proposal is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any agreement or rules of any group, association, organization or corporation; Offeror has not directly or indirectly induced or solicited any other Offeror to submit a false or sham Proposal; Offeror has not solicited or induced any individual or entity to refrain from submitting a Proposal; and Offeror has not sought by collusion to obtain for itself any advantage over any other Offeror or over Owner.

4.0 DEFINED TERMS:

A. Terms defined in this Proposal, if any, shall be for the purposes of this Proposal. Terms with initial capital letters not defined herein shall have the meaning assigned to them in the other Bid Documents or Contract Documents.

5.0 TOTAL PROPOSAL PRICE HAS BEEN CALCULATED BY OFFEROR, USING THE FOLLOWING COMPONENT PRICES AND PROCESS (PRINT OR TYPE NUMERICAL AMOUNTS):

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SAN JACINTO RIVER AUTHORITY
Lake Conroe Office Facilities Remediation & Repair
PROPOSAL FORM

A. BASE ITEMS

Item No.	Spec. Reference	Description	Qty.	Unit	Unit Price (this column controls)	Proposal Price
1	04 05 13, 07 90 00, 07 14 00, 08 51 50, 08 11 00, 08 70 00 04 21 13	Weatherproofing: Provide all materials and labor to repair all necessary items to ensure appropriate weatherproofing of structure as shown, noted in the drawings, or included by specifications. Including but not limited to: tuck pointing mortar, replacing failed sealants, reinstalling all windows, replacing weatherproofing and sweeps on all north-facing doors, and repairing all concrete expansion joint sealants. Necessary brick removal and replacement for the reinstallation of windows shall be incidental to the reinstallation and will not be paid for at an additional cost.	1	LS	\$ _____	\$ _____
2	See Plans	HVAC Systems: Provide all materials and labor to perform all necessary work to remove the existing HVAC systems and replace with appropriate systems as shown, noted in the drawings, or included by specifications.	1	LS	\$ _____	\$ _____
3	See Plans	Electrical: Provide all materials and labor to perform all necessary work and repairs to rerun electrical to meet Code requirements for all	1	LS	\$ _____	\$ _____

		interior and exterior lighting as shown, noted in the drawings, or included by specifications. Install new light at attic stairs				
4	07 21 00, 07 90 00,	Miscellaneous Updates: Provide all materials and labor to perform all necessary work for all other repairs as shown, noted in the drawings, or included by specifications. Including but not limited to: replacing all ceiling tiles and insulation, sistering new joists to cut joists, chiseling out excess mortar where sheathing was removed for mold remediation , adding lag bolts and sealants to attic stairs, covering all penetrations to stop rodents, removal of all face plates prior to painting, painting interior of facility, removal of wallpaper within conference bathroom and drilling out full-head weeps to extend to surface of concrete brick ledge, as well as replacing exposed rotten framing as necessary .	1	LS	\$ _____	\$ _____
5	07 61 13, 07 62 00	Roof System: Provide all materials and labor to perform all necessary work to complete demolition of existing metal roof and installation of new standing seam metal roof as shown, noted in the drawings, or included by specifications. To include decking repair, and addition of ring shank nails or screws. Also includes the removal and replacement of existing gutters & downspouts.	1	LS	\$ _____	\$ _____
6	07 21 00	Mold Remediation Repair:	1	LS	\$ _____	\$ _____

		Provide all materials and labor to perform all necessary work to replace areas affected by mold remediation (remediation done by others) as shown, noted in the drawings, or included by specifications. Including but not limited to: sheetrock, insulation, sheathing, and built-in desk.				
7	See Plans	<p>Mechanical/Plumbing:</p> <p>Provide all materials and labor to perform all necessary work to make plumbing repairs as shown, noted in the drawings, or included by specifications. Including but not limited to: installing an appropriately sized water heater, and floor drain, adding vents and necessary items to mop closet, replacing the mop sink and flooring in the janitor's closet, and relocating bathroom vents out of north-facing wall.</p>	1	LS	\$ _____	\$ _____
8	See Plans	<p>Earthwork:</p> <p>Provide all materials and labor to perform all necessary work to make repairs to areas surrounding the facility as shown, noted in the drawings, or included by specifications. Including but not limited to: back-filling at the southwest corner of the building with stabilized material, adding tie-in drains, and regrading gutters.</p>	1	LS	\$ _____	\$ _____
9	01 71 13	<p>Mobilization:</p> <p>Contractor mobilization and demobilization of all equipment, materials, and personnel to and from job site. As well as provide proper tree & shrub</p>	1	LS	\$ _____	\$ _____

		protection as directed by owner				
10	01 74 13, 01 74 19	Cleaning: Provide all materials and labor to perform all necessary work to provide adequate protection and cleaning as shown, noted in the drawings, or included by specifications. Including but not limited to: providing floor protection during the duration of the project, doing a construction clean to restore building for occupancy, and providing construction dumpster(s) to haul off all waste.	1	LS	\$ _____	\$ _____
11	00 61 13.13 00 61 13.16	Contractor Bonding Costs (Statutory Payment Bond and Performance Bond)	1	LS	\$ ____	\$ _____
<u>A. Total Base Items:</u>					\$ _____	

B. CASH ALLOWANCES			
Item No.	Spec. Reference	Description	Cash Allowance ¹
1	N/A	Agency Permits, to be reimbursed on an Actual Cost Basis.	\$ <u>7,500.00</u>
<u>B. Total Cash Allowances:</u>			\$ <u>\$7,5000</u>

Table C Footnotes:

(1) Fixed price determined prior to Proposal. Cannot be adjusted by Offeror.

C. ALTERNATE ITEMS						
Item No.	Spec. Reference	Description	Qty.	Unit	Unit Price (this column controls)	Proposal Price
1	See Plans	Provide all materials and labor to perform a remodel of existing restroom and the addition of an ADA shower. To include but not limited to	1	LS	\$ _____	\$ _____

Note: Alternate Items shall be included in Total Proposal Price.

6.0 SIGNATURES: By signing this Document, I agree that I have received and reviewed all Bid Documents, Contract Documents and Addenda and considered all costs associated with the Bid Documents, Contract Documents and Addenda in calculating the Total Proposal Price.

Name: _____
(Print or type name) Title

Doing Business as: _____

Business Address: _____
(Mailing)

(Street, if different)

Telephone and Fax Number: _____
(Print or type numbers)

* If Proposal is a joint venture, add additional Proposal Form signature sheets for each member of the joint venture.

** Offeror certifies that the only person or parties interested in this offer as principals are those named above. Offeror has not directly or indirectly entered into any agreement, participated in any collusion, or otherwise taken any action in restraint of free competitive Proposing.

Note: This document constitutes a Governmental record, as defined by § 37.01 of the Texas Penal Code. Submission of a false Governmental record is a criminal offense as provided in § 37.10 of the Texas Penal Code.

7.0 CERTIFICATION OF PROPOSAL

The undersigned affirms that they are duly authorized to execute this Proposal, that this Proposal has not been prepared in collusion with any other Offeror, and that the contents of this Proposal have not been communicated to any other Offeror prior to the official opening of this Proposal. Additionally, the undersigned affirms that the Offeror is willing to sign the attached SJRA Agreement (if applicable).

Signed By: _____ Title: _____

Typed Name: _____ Company Name: _____

Phone No.: _____ Fax No.: _____

Email: _____

Proposal Address: _____
P.O. Box or Street City State Zip

Order Address: _____
P.O. Box or Street City State Zip

Remit to Address: _____
P.O. Box or Street City State Zip

Federal Tax ID No.: _____

Date: _____

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FELONY CONVICTION NOTIFICATION

Any person and/or business entity that enters into a contract with the San Jacinto River Authority must give advance notice to the SJRA if any employee or an owner or operator of the business entity has been convicted of a felony. The notice must include a general description of the conduct resulting in the conviction of a felony. The notice must also describe the role that the employee, owner, or operator will perform in executing the contract. The SJRA may require substitution of employees in the performance of the contract.

The SJRA may terminate a contract with a person or business entity if the SJRA determines that the person or business entity failed to give notice as required by this clause, misrepresented the conduct resulting in the conviction, or failed to substitute personnel at SJRA's request.

I, the undersigned agent for the firm named below, certify that the information concerning notification of felony convictions has been reviewed by me and the following information furnished is true to the best of my knowledge.

Signature of Authorized Company Official _____ Date _____

Authorized Company Official's Name and Title (Printed) _____

Firm Name _____

A. My firm is not owned or operated by anyone who has been convicted of a felony nor does it have any employees who have been convicted of a felony:

Signature of Authorized Company Official _____ Date _____

B. My firm has employee(s) or is owned or operated by the following individual(s) who has/have been convicted of a felony:

Signature of Authorized Company Official _____ Date _____

C. Provide a general description of the conduct resulting in the conviction of a felony.

Signature of Authorized Company Official _____ Date _____

D. Describe the role that the person(s) convicted of a felony will play in the performance of the contract.

Signature of Authorized Company Official _____ Date _____

END OF SECTION

- ## G.C. COMPLIANCE NOTES

2

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- The floor plan illustrates the second floor layout with the following rooms and renovation notes:
- OFFICE (R)**: Located at the top left.
 - OFFICE (Q)**: Located below Office (R).
 - OFFICE (P)**: Located on the left side.
 - OFFICE (D)**: Located in the center-left.
 - OFFICE (C)**: Located below Office (D).
 - OFFICE (B)**: Located to the right of Office (C).
 - OFFICE (N)**: Located at the bottom left.
 - OFFICE (O)**: Located at the bottom left, below Office (N).
 - OFFICE (A)**: Located at the bottom center.
 - LOBBY (S)**: Located at the bottom center.
 - MEETING AREA/CALL CTR (L & X)**: Located at the bottom center.
 - OFFICE (K)**: Located at the bottom right.
 - OFFICE (J)**: Located at the bottom right.
 - OFFICE (H)**: Located on the right side.
 - OFFICE (I)**: Located on the right side.
 - OFFICE (G & V)**: Located at the top right.
 - CONFERENCE ROOM (L & W)**: Located at the top center.
 - STORAGE (M, T, Y)**: Located in the center.
 - STORAGE (F)**: Located in the center.
 - STOR**: Located near the restrooms.
 - RESTROOM**: Located in the center.
 - WOMEN'S RESTROOM**: Located in the center.
 - MEN'S RESTROOM**: Located in the center.
 - KITCHEN**: Located in the center.
 - MECH**: Located in the center.
 - RENOVATION NOTES**:
 - VERIFY EXISTING SPACE DIMENSIONS AFTER DEMOLITION AND VERIFY LOCATION OF ALL UTILITIES TO/THRU THE SPACE IN FIELD. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES WITH PLAN.
 - ALL EXISTING CEILING GRID TO REMAIN. REPLACE ALL CEILING TILES AND INSULATION. ALL ELECTRICAL FIXTURE TO REMAIN.
 - RESTROOM ALTERATION AND COUNTER REPLACEMENT MUST BE CONSIDERED AS AN ALTERNATE ITEM FOR BID PURPOSE.
 - UTILIZE SPRAY FOAM R-30 IN THE RAFTER IN LIEU OF BATT INSULATION IN THE ATTIC. CONTRACTOR BID SPRAY FOAM AS AN ALTERNATE.
 - DEMO EXISTING DOOR AND FRAME. PREPARE FOR NEW DOOR.
 - DEMO EXISTING DOOR AND FRAME. PREPARE FOR NEW DOOR.
 - REMOVE EXISTING GYP. BOARD AND FLOOR AND PREPARE FOR NEW ONE.
 - EXISTING WATER HEATER TO BE RELOCATED. REF. PLUMBING DRAWINGS FOR DETAILS.
 - REMOVE AND REPLACE MOP SINK.
 - REMOVE AND REPAIR EXISTING GYP. BOARD AS REQUIRED.
 - REMOVE EXISTING COUNTER AND PREPARE FOR NEW ONES.
 - HAND SINK TO REMAIN.
 - PREPARE SUB-SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN FINISH SCHEDULE. PROVIDE CONCRETE TOPPING AS REQUIRED FOR PROPER SLOPE.
 - REMOVE EXISTING TOILET. PREPARE DRAIN FOR NEW SHOWER.
 - CONTRACTOR TO CHISEL OUT EXCESS MORTAR WHERE SHEATHING WAS REMOVED FOR MOLD REMEDIATION.
 - REPLACE EXISTING COUNTER (REMOVAL BY OTHERS).

GENERAL DEMOLITION NOTES

3

DEMO FLOOR PLAN


SCALE: 3/16" = 1'-0"

1



EXPIRES 07-23-19

LAKE CONROE DIVISION
OFFICE FACILITIES
REPAIR

	3/11/19	CITY & OWNER COMMENTS
	2/18/19	FOR PERMIT
ISSUE	DATE	DESCRIPTION
SJRA PROJECT NO: 18-0097-3		
FILE NAME: A1.0 DEMO FLOOR PLAN.dwg		
DRAWN BY:		MW
CHECKED BY:		MW
SCALE:		AS SHOWN

DEMO
FLOOR PLAN

SHEET	A-1.0
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SEQ. 5 OF 21



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4



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